



## Development and Services Committee

Norman Jackson	Damon Jeter	Julie-Ann Dixon (Chair)	Bill Malinowski	Seth Rose
District 11	District 3	District 9	District 1	District 5

May 24, 2016 - 5:00 PM  
2020 Hampton St.

### **Call to Order**

### **Approval of Minutes**

- 1 Development and Services Committee Meeting: April 26, 2016 [PAGES 4-6]

### **Adoption of Agenda**

### **Items for Action**

- 2 Council Motion to Approve Homeowner Associations Pursing the Creation of Special Tax Districts [PAGES 7-9]
- 3 Request for Easement – Hiller Road [PAGES 10-31]

### **Items Pending Analysis: No Action Required**

- 4 Comprehensive Youth Program [PAGE 32]
- 5 Motions Related to the Development of a Diversity Statement and the Feasibility of Conducting a Workplace Diversity Study [PAGE 33]
- 6 Motion to Have a Subcommittee Examine the County's EMS Services [PAGE 34]

**Adjournment**



Special Accommodations and Interpreter Services Citizens may be present during any of the County's meetings. If requested, the agenda and backup materials will be made available in alternative formats to persons with a disability, as required by Section 202 of the Americans with Disabilities Act of 1990 (42 U.S.C. Sec. 12132), as amended and the federal rules and regulations adopted in implementation thereof. Any person who requires a disability-related modification or accommodation, including auxiliary aids or services, in order to participate in the public meeting may request such modification, accommodation, aid or service by contacting the Clerk of Council's office either in person at 2020 Hampton Street, Columbia, SC, by telephone at (803) 576-2061, or TDD at 803-576-2045 no later than 24 hours prior to the scheduled meeting.

# RICHLAND COUNTY COUNCIL

## SOUTH CAROLINA



### DEVELOPMENT & SERVICES COMMITTEE

April 26, 2016  
5:00 PM  
County Council Chambers

*In accordance with the Freedom of Information Act, a copy of the agenda was sent to radio and TV stations, newspapers, persons requesting notification, and was posted on the bulletin board located in the lobby of the County Administration Building*

#### CALL TO ORDER

Ms. Dixon called the meeting to order at approximately 5:00 PM

#### APPROVAL OF MINUTES

**Regular Session: March 22, 2016** – Mr. Jackson moved, seconded by Mr. Malinowski, to approve the minutes as distributed. The vote in favor was unanimous.

#### ADOPTION OF AGENDA

Mr. Malinowski moved, seconded by Mr. Jackson, to adopt the agenda as published. The vote in favor was unanimous.

#### ITEMS FOR ACTION

**Sonoco Recycling Agreement for Professional Services** – Mr. McDonald stated this item was before the committee last month, but there were some questions about the details of the contract and the urgency of the request. Mr. Curtis has worked on the terms of the agreement and is available to address any additional questions the committee may have.

The item is a renegotiation of the recycling contract with Sonoco, which restates the terms of the contract, as well as, the costs for services.

Mr. Malinowski moved, seconded by Mr. Rose, to forward to Council with a recommendation to approve and award the renegotiated contract thus maintaining the current level of service for our curbside recyclables. The contract will be effective (retroactively) April 1, 2016. The vote in favor was unanimous.

**Petition to Close Hastings Alley in Olympia** – Mr. McDonald stated this item is a request from a property owner in the Olympia community and forwarded to committee by the Legal Department. The property owner is requesting a quit claim to Hastings Alley. The Planning Department, the Public Works Department and Emergency Services Department have reviewed the request and none of the departments has raised any objection.

#### Council Members Present

Julie-Ann Dixon, Chair  
District Nine

Bill Malinowski  
District One

Damon Jeter  
District Three

Seth Rose  
District Five

Norman Jackson  
District Eleven

#### Others Present:

Tony McDonald  
Warren Harley  
Kevin Bronson  
Brandon Madden  
Michelle Onley  
Roxanne Ancheta  
Kim Roberts  
Larry Smith  
Rudy Curtis  
Daniel Driggers  
Donny Phipps  
Quinton Epps

**Development & Services Committee**

**Tuesday, April 26, 2016**

**Page Two**

Mr. Malinowski inquired if there is a financial impact to the County.

Mr. McDonald stated from staff's perspective if there is any financial impact it would be to generate minimal additional tax revenue.

Mr. Malinowski moved, seconded by Mr. Rose, to forward to Council with a recommendation to approve the request to close Hastings Alley in Olympia. The vote in favor was unanimous.

**Petition to Close Portion of Jilda Drive** – Mr. McDonald stated Jilda Drive is located in the Northeast portion of the County. The property owner who is acquiring the property adjacent to the land has requested a portion of the road be deeded over to him. There is no negative impact to the Planning, Public Works or Emergency Services Departments. Staff recommends approval of this item.

Mr. Malinowski moved, seconded by Mr. Jeter, to forward to Council with a recommendation to approve petitioner's request to close the subject road and direct Legal to answer the suit accordingly. The vote in favor was unanimous.

**Memorandum of Understanding with the City of Forest Acres for Inspections of Commercial Structures** – Mr. McDonald stated the request is to "loan" the city building inspection services for a 2-week period in May. The City of Forest Acres will repay the County for costs incurred during the 2-week period. Staff recommends approval.

Mr. Malinowski moved, seconded by Mr. Jackson, to forward to Council with a recommendation to approve the memorandum of understanding to assist the City of Forest Acres until the Building Office returns and to amend the agreement to reflect that expenses will be invoiced to the City of Forest Acres and the County will be reimbursed within 30 days of being invoiced. The vote in favor was unanimous.

**Resolution Regarding the Assessment of Vehicles for Taxation Purposes** – Mr. McDonald stated this item is a proposed resolution regarding the assessment of vehicles for tax purposes. The suggestion is to change the method of assessing vehicles outlined by State law. The approval of the resolution would necessitate the pursuit of an amendment to State legislation.

Mr. Malinowski stated he thought it would be more palatable and fair to the taxpayers to assess vehicles quarterly rather than annually.

Mr. Malinowski inquired why the Auditor is requesting additional staff.

Mr. Malinowski moved, seconded by Mr. Jackson, to forward to Council with a recommendation to forward a resolution to the legislative delegation requesting they propose amending the SC State Code of Laws, Section 12-37-2680; determination of assessed value of vehicles to allow for the use of the "black book" value as determined on a quarterly basis as the method for assessing the value of vehicles for taxation purposes. The vote in favor was unanimous.

**ITEMS PENDING ANALYSIS**

**Request for Easement – Hiller Road** – This item was held in committee.

**Motion to Have a Subcommittee Examine the County's EMS Services** – This item was held in committee.

**Motions Related to the Development of a Diversity Statement and the Feasibility of Conducting a Workplace Diversity Study** – This item was held in committee.

**Comprehensive Youth Program** – This item was held in committee.

### **ADJOURNMENT**

The meeting adjourned at approximately 5:19 PM.

The Minutes were transcribed by Michelle M. Onley, Deputy Clerk of Council

# Richland County Council Request of Action

**Subject:**

Council Motion to Approve HOAs Pursuing the Creation of Special Tax Districts

# Richland County Council Request of Action

**Subject:** Council Motion to Approve Homeowner Associations Pursing the Creation of Special Tax Districts

## **A. Purpose**

County Council is requested to consider a Council motion to approve four (4) Homeowner Associations pursing the creation of special tax districts.

## **B. Background / Discussion**

At the May 3, 2016 Council meeting, Council member Pearce brought forth the following motion:

“I move that Council consider approving the following HOAs: (1) Cary Lake [District 8]; (2) Beaver Dam [District 9]; (3) Lower Rocky Ford [District 6]; and (4) Lake Dogwood [District 11] to pursue the creation of special tax districts”

Council approval of this motion would allow each of the HOAs to engage in the process of creating a special tax district. The process involves specific steps (e.g., determining boundary for district, determining millage rate of district, developing petition) and Council approval.

## **C. Legislative / Chronological History**

- April 5, 2016 – Council approved the concept of utilizing a Special Tax District for the purposes of providing funding for the repair and replacement of privately owned dams in Richland County.
  
- May 3, 2016 – Motion made by Council member Pearce

## **D. Financial Impact**

There are no direct financial costs associated with this request as the administrative fees associated with the process of implementing a special purpose tax district will be the responsibility of the HOA.

## **E. Alternatives**

1. Consider the motion and proceed accordingly.
  
2. Consider the motion and do not proceed accordingly.

## **F. Recommendation**

This is a policy decision for Council.

Recommended by: Greg Pearce

Department: Council District 6

Date: 5/3/16

## **G. Reviews**

(Please replace the appropriate box with a ✓ and then support your recommendation in the Comments section before routing on. Thank you!)

Please be specific in your recommendation. While “Council Discretion” may be appropriate at times, it is recommended that Staff provide Council with a professional recommendation of approval or denial, and justification for that recommendation, as often as possible.

## **Finance**

Reviewed by: Daniel Driggers

Date: 5/11/16

Recommend Council approval

Recommend Council denial

Comments regarding recommendation:

No recommendation. The request is a policy decision for Council with no identified direct cost impact to the County. Based on the previous discussions, the taxpayer group has committed to cover any additional cost to the County for direct or indirect impacts. It is recommended that any approval include language to cover those costs.

#### **Auditor**

Reviewed by: Paul Brawley

Date: 5/11/16

Recommend Council approval

Recommend Council denial

Comments regarding recommendation:

No recommendation, this is a policy decision for council.

#### **Assessor**

Reviewed by: Liz McDonald

Date: 5-12-16

Recommend Council approval

Recommend Council denial

Comments regarding recommendation: Thought or consideration needs to be put into to HOA's that have properties in 2 different tax districts. Would there be 2 special tax districts created for one HOA? What about the properties that are tax exempt or receive HSE?

#### **Legal**

Reviewed by: Elizabeth McLean

Date: 5/17/16

Recommend Council approval

Recommend Council denial

Comments regarding recommendation: Policy decision left to Council's discretion. If Council wishes to proceed, we recommend taking into consideration Mr. Drigger's and Ms. McDonald's comments and using the same (or similar) documents as were prepared for Upper Rockyford.

#### **Administration**

Reviewed by: Roxanne Ancheta

Date: May 19, 2016

Recommend Council approval

Recommend Council denial

Comments regarding recommendation: Recommend approval for the following HOA's to pursue the creation of a special tax district as was previously approved by Council for Upper Rocky Ford: Cary Lake; Beaver Dam; Lower Rocky Ford; Lake Dogwood. The items raised by the Finance Director and Assessor should be handled with the HOA's legal counsel in conjunction with applicable county staff.

# Richland County Council Request of Action

**Subject:**

Request for Easement – Hiller Road

# Richland County Council Request of Action

**Subject:** Request for Easement – Hiller Road

**A. Purpose**

County Council is requested to grant an easement to the City of Columbia 10 feet wide and 49.79 feet in length on the County’s pump station property located on Hiller Road to construct a water main to serve the proposed Hidden Cove Subdivision on Hiller Road.

**B. Background / Discussion**

The Developer Great Southern Homes has a proposed subdivision development called Hidden Cove Subdivision located along Hiller Road in between the Richland County and Lexington County boundary line and being further identified as TMS #R00400-01-03.

The City of Columbia (COC) is requiring the Developer to loop the waterline through the Developers site from where the COC existing line stops at the entrance to the Village at Hilton on Indian Fork Road to the entrance of Ashwood Hills on Hiller Road. The City requires the waterline to be placed in a 10’ private easement outside the Hiller Road right of way. The plans have been examined and approved by the City of Columbia and a Water Supply Construction Permit was issued by SCDHEC on July 17, 2015.

The proposed development was approved by the County’s Development Review Team on September 3, 2015. The proposed sewer plan was reviewed and approved by Utilities staff and a Wastewater Construction Permit was issued by SCDHEC on October 15, 2015.

The easement is located in Richland County District one (1).

**C. Legislative / Chronological History**

This is a staff-initiated request therefore there is no legislative history.

**D. Financial Impact**

There is no financial impact associated with this request.

**E. Alternatives**

1. Approve the ordinance and request to grant easement to the City of Columbia and project will proceed.
  
2. Do not approve and the project will be delayed and will cause the developer additional cost to relocate the proposed waterline.

**F. Recommendation**

It is recommended that Council approve the request to grant easement and project will proceed.

Recommended by: Reynaldo M. Angoluan

Department: Utilities

Date: October 20, 2015

**G. Reviews**

**Finance**

Reviewed by: Daniel Driggers

Date: 11/18/15

Recommend Council approval

Recommend Council denial

Comments regarding recommendation: The request is for Council Discretion with no financial impact.

**Procurement**

Reviewed by: Cheryl Patrick

Date: 11/18/15

Recommend Council approval

Recommend Council denial

Comments regarding recommendation: No Procurement activity required. This is for Council's discretion.

**Legal**

Reviewed by: Elizabeth McLean

Date: 11/19/15

Recommend Council approval

Recommend Council denial

Comments regarding recommendation: Policy decision left to Council's discretion. To the extent that it appears that the City is requesting to be allowed to run a line in the County's designated service area, this seems to be consistent with statutory language which requires City to get the County's consent for such.

**Administration**

Reviewed by: Sparty Hammett

Date: 11/20/15

Recommend Council approval

Recommend Council denial

Comments regarding recommendation:

STATE OF SOUTH CAROLINA  
COUNTY COUNCIL FOR RICHLAND COUNTY  
ORDINANCE NO. \_\_\_\_\_-15HR

AN ORDINANCE AUTHORIZING AN EASEMENT TO CITY OF COLUMBIA, SOUTH CAROLINA FOR A WATER MAIN ACROSS LAND OWNED BY RICHLAND COUNTY; SPECIFICALLY A PORTION OF TMS # 01404-01-03.

Pursuant to the authority granted by the Constitution of the State of South Carolina and the General Assembly of the State of South Carolina, BE IT ENACTED BY RICHLAND COUNTY COUNCIL:

SECTION I. The County of Richland and its employees and agents are hereby authorized to grant an easement for a water main to City of Columbia, South Carolina across a portion of Richland County TMS #01404-01-03, as specifically described in the Easement, which is attached hereto and incorporated herein.

SECTION II. Severability. If any section, subsection, or clause of this ordinance shall be deemed unconstitutional or otherwise invalid, the validity of the remaining sections, subsections, and clauses shall not be affected thereby.

SECTION III. Conflicting Ordinances. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION IV. Effective Date. This ordinance shall be enforced from and after \_\_\_\_\_.

RICHLAND COUNTY COUNCIL

By: \_\_\_\_\_  
Torrey Rush, Chair

Attest this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
S. Monique McDaniels  
Clerk of Council

RICHLAND COUNTY ATTORNEY'S OFFICE

\_\_\_\_\_  
Approved As To LEGAL Form Only  
No Opinion Rendered As To Content

First Reading:  
Second Reading:  
Public Hearing:  
Third Reading:

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

EASEMENT

For and in consideration of the sum of one (\$1.00) dollar, each to the other paid, the receipt of which is hereby acknowledged, COUNTY OF RICHLAND (also hereinafter referred to as "Grantor") does hereby grant unto the CITY OF COLUMBIA (also hereinafter referred to as "Grantee"), its successors and assigns, a permanent, exclusive easement **ten (10) feet in width**, together with the right of ingress and egress at all times for the purpose of constructing, operating, reconstructing and maintaining a water main and with the right to remove shrubbery, trees and other growth from the easement area provided that the property will be restored as nearly as practicable to its original condition upon completion of the construction and any trees which must be removed shall be moved from the premises, and any damaged shrubbery will be replaced with the same variety from nursery stock, said easement to run through the property which grantor owns or in which grantor has an interest, situate, lying and being:

In the State of South Carolina, County of Richland, near the town of Hilton, located along S/S of Hiller Road, Chapin, SC 29036, and being further identified as a portion of Richland County tax map number 01404-01-03, as shown on tax maps prepared by the office of the Richland County Tax Assessor, 2015 Edition.

A permanent, exclusive easement for a water main, ten (10) feet in width; said easement beginning at the southeastern property corner of the subject property; thence extending therefrom in a southwesterly direction parallel to and abutting the common boundary of the southeastern property line of the subject property and the outer perimeter of the northwestern right-of-way of Hiller Road (S-40-702), for a distance of forty-nine and seventy-nine hundredths (49.79) feet to intersect the southwestern property corner of the subject property; thence terminating. Be all measurements a little more or less.

This easement being more clearly shown and delineated on an easement drawing for Off-Site Water For Hidden Cove, drawing 7 of 9, dated June 30, 2015, prepared by Associated E & S, Inc., for the City of Columbia, South Carolina, and being on file in the office of the Department of Utilities and Engineering, City of Columbia, South Carolina under City File #334-21.

A copy of said easement drawing being attached hereto and made a part hereof as Exhibit "A".

HMG  
EASEMENT #7 OF 9

APPROVED AS TO FORM

NR 8 25 15  
Legal Department City of Columbia, SC

TO HAVE AND TO HOLD the aforesaid rights to the Grantee, its successors and assigns, as aforesaid, forever.

And the Grantor does hereby bind the Grantor and Grantor's successors and assigns to warrant and forever defend all and singular the said premises unto the Grantee, its successors and assigns against the Grantor and Grantor's successors and assigns and against every person whomsoever lawfully claiming, or to claim, the same or any part thereof.

WITNESS the hand and seal of the Grantor by the undersigned this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

WITNESSES:

COUNTY OF RICHLAND

\_\_\_\_\_  
(1<sup>st</sup> Witness Signature) BY: \_\_\_\_\_  
(Signature)

NAME: \_\_\_\_\_  
(Print Name)

\_\_\_\_\_  
(2<sup>nd</sup> Witness Signature) TITLE: \_\_\_\_\_  
(Print Title)

STATE OF \_\_\_\_\_ )

ACKNOWLEDGMENT

COUNTY OF \_\_\_\_\_ )

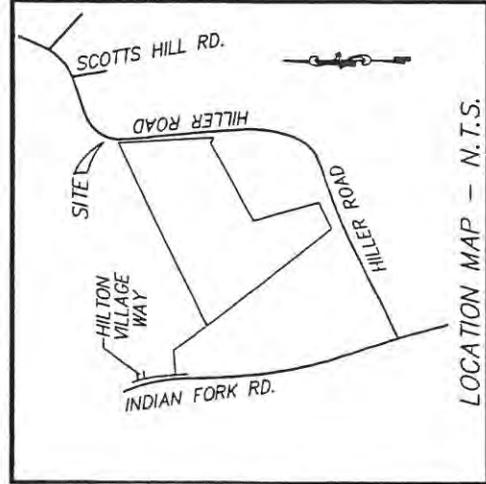
The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2015 by \_\_\_\_\_  
(Name & Title of Officer)  
of \_\_\_\_\_ on behalf of the within-named Grantor.  
(City & State)

\_\_\_\_\_  
(Notary's Signature)

NOTARY PUBLIC FOR THE STATE OF \_\_\_\_\_  
(State)

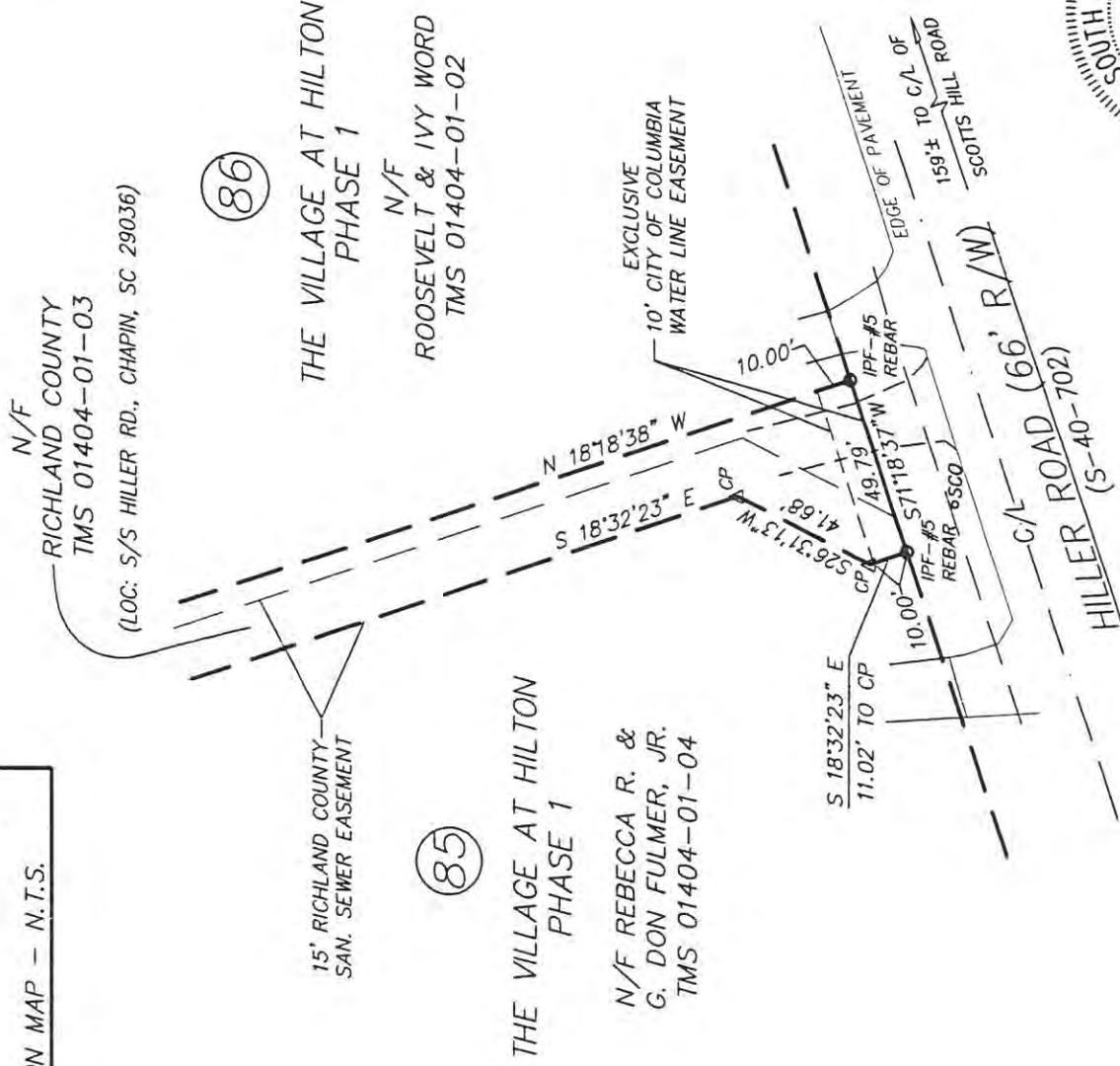
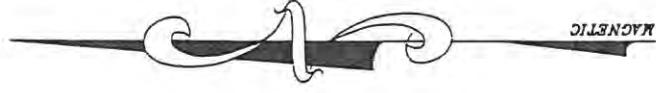
MY COMMISSION EXPIRES: \_\_\_\_\_  
(Date)

**EXHIBIT**



CP = CALCULATED POINT  
 IPF = IRON PIN FOUND  
 IPS = IRON PIN SET  
 TMS = TAX MAP SHEET  
 R/W = RIGHT OF WAY  
 N/F = NOW OR FORMERLY  
 O/H = OVERHEAD  
 WM = WATER METER  
 PP = POWER POLE  
 TB = TELEPHONE BOX  
 CTV = CABLE TV

OWNER:  
 COUNTY OF RICHLAND  
 2020 HAMPTON STREET  
 COLUMBIA, SC 29201



OFF-SITE WATER FOR HIDDEN COVE  
 WATER LINE EASEMENT PLAT PREPARED FOR  
**CITY OF COLUMBIA**

SITE LOCATED IN RICHLAND COUNTY, NEAR HILTON, SOUTH CAROLINA

SCALE: 1" = 50'



DATE: JUNE 30, 2015

REFERENCES:

1. RICHLAND COUNTY TAX MAP 01404; 2015 EDITION

CERTIFICATION:

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY AS SPECIFIED THEREIN.

LARRY W. SMITH, S.C.P.L.S. NO. 3724

**ASSOCIATED E & S, INC.**

A 79-15 g 800 VIOLET STREET, WEST COLUMBIA, SOUTH CAROLINA, 29169 - PH. 791-1550

**ATTORNEY CERTIFICATION**

I, \_\_\_\_\_, an attorney licensed to practice in the State of \_\_\_\_\_ do hereby certify that I supervised the execution of the attached Off-Site Water Easement 7 of 9 for – Hidden Cove with County of Richland as Grantor and the City of Columbia, as Grantee this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_

State Bar Number: \_\_\_\_\_



# CITY OF COLUMBIA

## Department of Utilities and Engineering Division of Engineering

P.O. Box 147 | Columbia, South Carolina 29217  
Phone: 803-545-3400 Fax: 803-988-8199

September 28, 2015

Re: **Revision** - Proposed Water Main Construction  
Plans for Hidden Cove Subdivision; (Hillier Road);  
Power Engineering; Plans dated June 23, 2015;  
City File #334-21 (R-1)

Great Southern Homes  
Attn: Scott Morrison  
90 N. Royal Tower Drive  
Irmo, SC 29063

Dear Mr. Morrison:

**The revisions to the above referenced plans received September 28, 2015 are approved with the conditions of our previous approval letter dated June 29, 2015 remaining in effect.**

The following are the approved revisions:

1. Revisions as shown on the above referenced plans showing an adjustment to the waterline to avoid the utility poles, guy wires and the wall at the entrance to Ashwood subdivision. A fire hydrant was also added at the entrance to Ashwood Subdivision.

Should you require additional information, please feel free to contact Denny Daniels at 545-3243.

Yours very truly,

Denny Daniels  
Utility Reviewer

Cc: David Par P.E., Power Engineering



# CITY OF COLUMBIA

## Department of Utilities and Engineering

### Division of Engineering

P.O. Box 147 | Columbia, South Carolina 29217

Phone: 803-545-3400 Fax: 803-988-8199

June 29, 2015

Re: Proposed Water Main Construction Plans for Hidden Cove Subdivision; (Hillier Road); Power Engineering; Plans dated June 23, 2015; City File #334-21

Great Southern Homes  
Attn: Scott Morrison  
90 N. Royal Tower Drive  
Irmo, SC 29063

Dear Mr. Morrison:

The referenced plans received June 23, 2015 have been examined and are approved with the following exceptions and provisions:

1. Service to property outside the City limits which is not contiguous shall not be provided until a Declaration of Covenant, in such form as approved by the City of Columbia Legal Department, has been properly executed for public recording. The Declaration of Covenant must include, as an exhibit, a current copy of the recorded deed for the property and shall run with the land. Water service to all properties outside of the corporate limits of Columbia is provided subject to approval by Columbia City Council and such rules, regulations and policies as City Council may from time to time establish or amend. Please contact Special Services at 803-545-3400 for more information regarding the Declaration of Covenant.
2. Initial and continued delivery of water service to this property is subject to such ordinances, policies, rules and regulations as the City of Columbia may, from time to time, adopt or amend.
3. All work and materials must conform to City Specifications, latest revision at beginning of construction, and City and County Regulations.
4. The developer must provide the City Engineer forty-eight (48) hours notice prior to beginning construction. It is requested that this notice be given to Angelia Jones at 545-3247. Once the developer's contractor provides a work notice and the City confirms all preconstruction requirements have been met (permits, insurance, etc.), the contractor **must** hold an on-site pre-construction conference with the City inspector (Jeff Jeffers) **prior to** performing any work on the project. The purpose of this meeting is to allow the contractor and **inspector** to review the plans and approval letter, as well as discuss concerns either party may have. **This is a**

**mandatory meeting, no exceptions!** The contractor shall call the inspector at 803-600-8431 to schedule the meeting. The best time to contact the inspector is from 8:00 a.m. - 9:30 a.m.

5. The developer through his engineer must provide the project contractor a copy of this approval letter which must be maintained on the site until construction is completed (permit to operate issued).
6. In the event any of the work related to water on this project is to be performed within public street or road rights-of-way or in an existing City easement by other than City of Columbia forces, indemnification of the City in accordance with **Chapter 11, Article III, Section 11-71** of the City Code is required. Proof of insurance must be provided prior to beginning construction. Should additional information regarding this be required, please contact Ms. Susan Leitner at 545-3250.
7. All grading of areas where water lines are approved for construction must be completed prior to installation of the pipe. If for any reason the grades are changed, thereby reducing the required minimum cover over these lines, the developer shall bear the expense of correcting line depth to that specified by current City Regulations.
8. The developer through his engineer is responsible for conducting final inspections of systems to be deeded to the City for operation and maintenance. Inspections must be coordinated with the Department of Engineering Inspector.
9. The proposed water plans have been submitted to the South Carolina Department of Health and Environmental Control for permitting under the Delegated Review Program.
10. Post hydrants shall be installed on all dead end water mains greater than 200 feet in length. All post hydrants must meet current City Regulations (Part 16, Standard Detail). Where dead-end mains 8" or larger occur, they shall be provided with a hydrant for flushing purposes.
11. The developer shall be responsible for installation of individual services off of the proposed main(s). The developer/builder shall be responsible for maintaining the accessibility, visibility and functionality of all water service lines and water meter boxes until the water meter is installed by the City of Columbia. If the aforementioned requirements are violated, the developer/builder shall be held responsible for all associated costs for installation of new service connection at his own expense including but not limited to the payment for the new tap fee. The City may require the developer/builder to hire an independent contractor to install a new tap, meter box and associated appurtenances solely at his own cost. The developer must obtain a prior approval from City before allowing the contractor to install a tap on the City's active water main. Service will be provided following City acceptance of the water, DHEC granting a permit to operate and the owner's application, execution of Item #1, and payment of appropriate fees.

12. Static pressure will exceed 75 psi at elevations below pipe elevation 434 feet mean sea level. The developer shall be responsible for providing pressure-reducing devices to protect building plumbing systems.
13. The proposed water mains must be deeded to the City of Columbia prior to final acceptance of the system(s) for operation and maintenance.
14. The proposed water mains must be installed in private easements, which must be dedicated exclusively to the City of Columbia. They shall be, granted prior to final acceptance for operation and maintenance by the City and prior to the date the final plat for the subdivision is recorded. All easements required by the City must be shown on the record drawings and the final plat. A copy of the final plat must be submitted with the record drawings.
15. All easements shall be, granted prior to final acceptance of the water mains for operation and maintenance by City and prior to the date the final plat for the subdivision is recorded. All easements required by the City must be shown on the record drawings and the final plat. A copy of the final plat must be submitted with the record drawings. The City has experienced tremendous difficulties with destruction of existing water service fixtures. Therefore, if after payment of tap fees, the City of Columbia forces cannot locate the meter box for services, the developer and/or builder and/or owner will be required to pay an additional tap fee to the City of Columbia in order to facilitate a location/repair of existing service fixtures.
16. For projects being developed under bond, the bonded plat showing all utility easements to be granted to the City of Columbia must be submitted for approval. These easements must be dedicated exclusively to the City prior to final approval of the bonded plat and the selling of individual lots.
17. All water mains below 434 MSL pipe elevation must be ductile iron pipe.
18. All water mains within 15 feet of a proposed or existing building structure must be ductile iron pipe.
19. All water mains 12" and larger shall be ductile iron pipe.
20. **Please note their shall be an 8" water tee installed at the stub location at Ashwood Hill Drive instead of the 8" 90 fitting that is proposed. For more information feel free to contact me.**
21. The City of Columbia reserves the right to request additional easements as needed for access, ingress, egress, operation, maintenance and repair of the utilities to be conveyed to this City of Columbia for this project.
22. Construction plan approval is valid for only three (3) years. In the event improvements have not been completed within that time, plans

must be submitted for approval and shall be subject to ordinances and regulations in effect on that date.

Should you require additional information, please feel free to contact Denny Daniels at 545-3243.

Yours very truly,



Joseph D. Jaco, P.E.  
Director of Utilities and Engineer

DD/dd

cc: David Parr, P.E., Power Engineering (emailed copy)

# Water Supply Construction Permit Bureau of Water



RECEIVED

JUL 27 2015

POWER ENGINEERING CO., INC.

Permission is Hereby Granted To:

GS JACOBS CREEK LLC  
10511 TWO NOTCH RD  
ELGIN SC 29045

for the construction of a distribution system in accordance with the construction plans, specifications, design calculations and the SCDHEC Construction Permit Application signed by David B Parr, Professional Engineer, S.C. Registration Number: 15898.

**Project Name:** HIDDEN COVE S/D **County:** Richland  
**Location:** NEAR INTERSECTION OF HILLER AND INDIAN FORK ROAD

**Project Description:** Installation of approximately 7578 LF of 8" water line, 183 LF of 4" water line, 6 fire hydrants and all necessary appurtenances to serve 72 lots.

**Service By:** Water will be provided by the Columbia City Of (System Number: 4010001).

#### Special Conditions:

1. All construction and materials for this project must conform to the Standard Specifications for the City of Columbia.
2. This construction permit is being issued based on the technical review being provided by the Columbia City Of under the Delegated Review Program. An approval to place in operation will not be granted if there are certain deficiencies that are noted regarding the requirements of R.61-58.

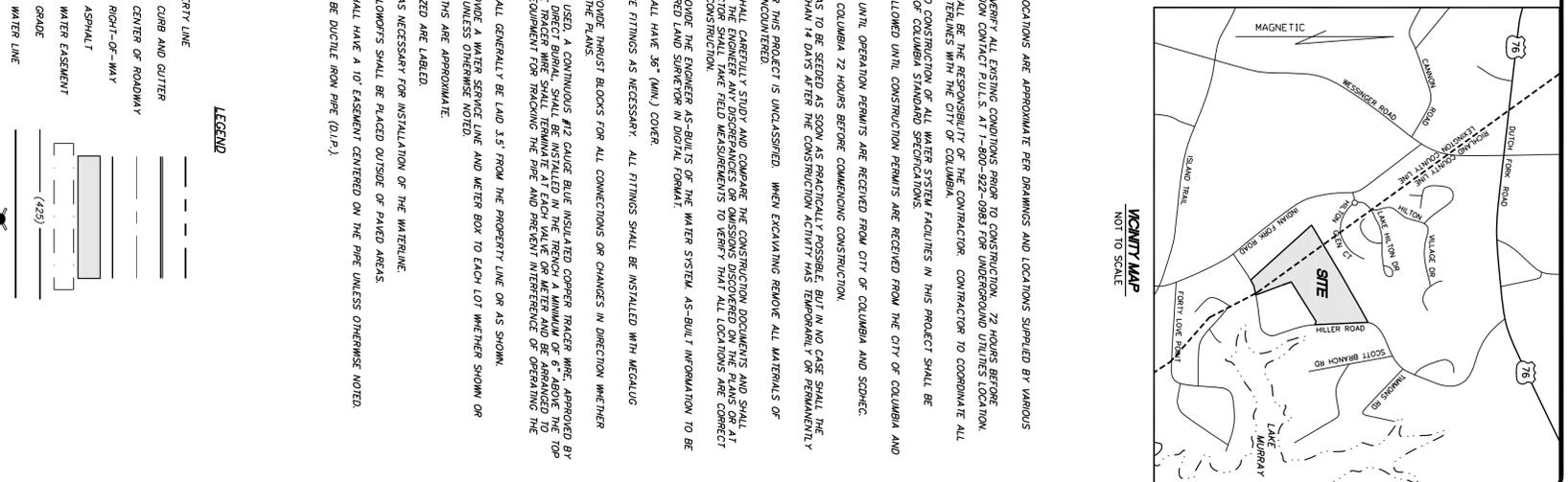
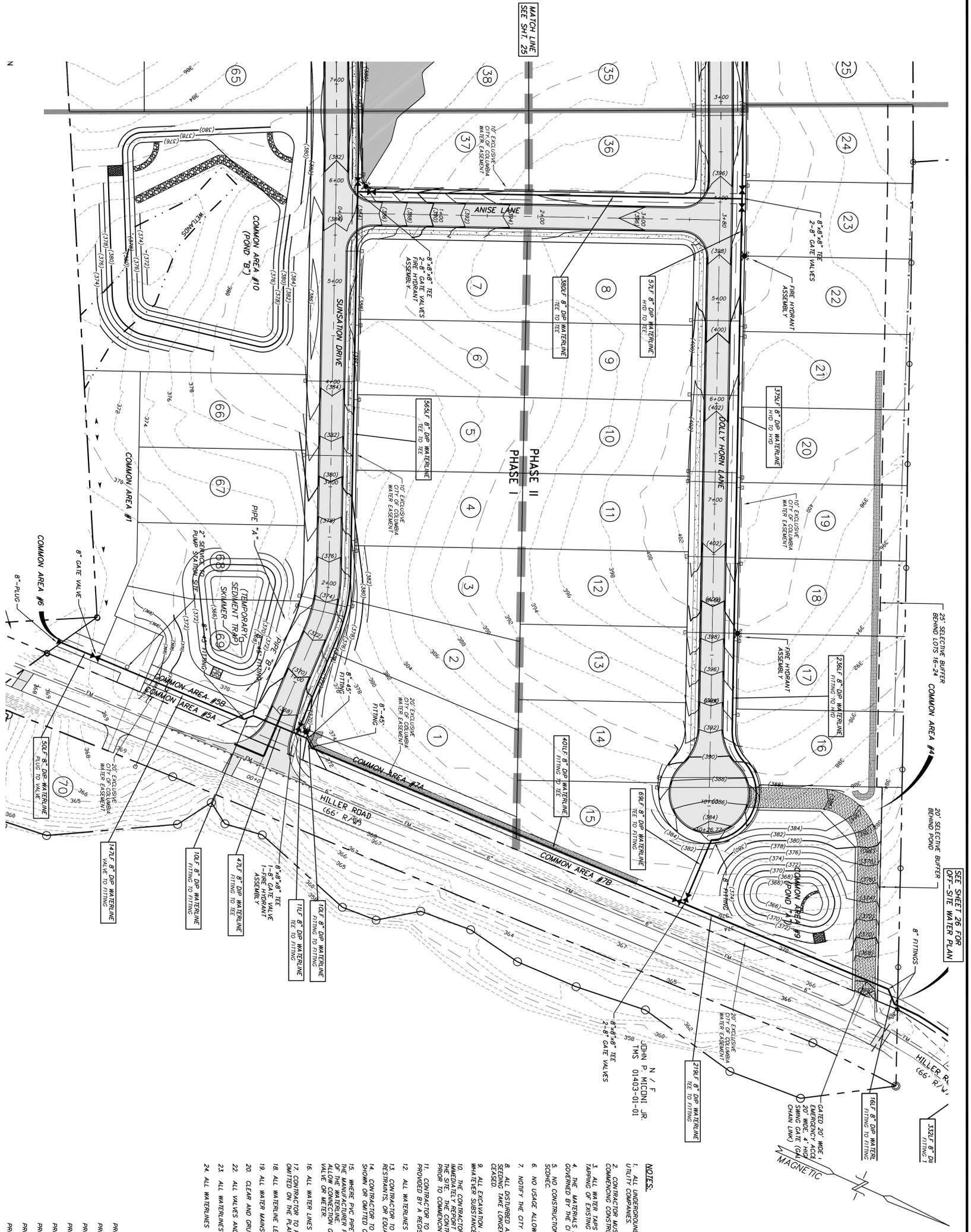
In accepting this permit, the owner agrees to the admission of properly authorized persons at all reasonable hours for the purpose of sampling and inspection.

*NOTE: This is a permit for construction only and does not constitute State Department of Health and Environmental Control approval, temporary or otherwise, to place the system in operation. An Approval to Place in Operation is required and can be obtained following the completion of construction by contacting the COLUMBIA EQC OFFICE at 803-896-0620. Additional permits may be required prior to construction (e.g., stormwater).*

**Permit Number:** 30532-WS  
**Date of Issue:** July 17, 2015  
**Expiration Date:** Construction must be completed and the Approval to Place in Operation granted prior to July 17, 2018 or this permit will expire.

Ann R. Clark, Director  
Stormwater, Construction, and Agriculture  
Permitting Division

BMC(DRP)



REVISIONS	BY
MOVE METERS LOTS #68-#69 05-20-15	D.H.C.
REVISIONS PER COUNTY 06/16/15	D.H.C.
REUSE CITY WATER MAINS ROAD 06/28/15	D.H.C.
REVISION LOTS 15-24 07/09/15	D.H.C.

**PREPARED BY**  
**POWER ENGINEERING COMPANY, INC.**  
 ENGINEERS - PLANNERS  
 COLUMBIA, SC

**GREAT SOUTHERN HOMES**  
**HIDDEN COVE SUBDIVISION**  
**WATER DISTRIBUTION PLAN**  
 RICHLAND COUNTY, NEAR HILTON, SOUTH CAROLINA

DATE	05-10-2015
SCALE	1" = 50'
JOB NO.	3853
SHEET	24
OF SHEETS	38

DRAWN	D.H.C.
CHECKED	D.B.F.
DATE	05-10-2015

PROPERTY LINE  
 PROP. CURB AND GUTTER  
 PROP. CENTER OF ROADWAY  
 PROP. RIGHT-OF-WAY  
 PROP. ASPHALT  
 PROP. WATER EASEMENT  
 PROP. GRADE  
 PROP. WATER LINE  
 PROP. HYDRANT  
 PROP. GATE VALVE  
 PROP. SERVICE

**NOTES:**  
 1. ALL UNDERGROUND LOCATIONS ARE APPROXIMATE PER DRAWINGS AND LOCATIONS SUPPLIED BY VARIOUS UTILITY COMPANIES.  
 2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. 22 HOURS BEFORE COMMENCING CONSTRUCTION CONTACT P.U.S. AT 1-800-922-0893 FOR UNDERGROUND UTILITIES LOCATION.  
 3. ALL WATER TAPS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO COORDINATE ALL TAPPING OF EXISTING WATERLINES WITH THE CITY OF COLUMBIA.  
 4. THE MATERIALS AND CONSTRUCTION OF ALL WATER SYSTEM FACILITIES IN THIS PROJECT SHALL BE GOVERNED BY THE CITY OF COLUMBIA STANDARD SPECIFICATIONS.  
 5. NO CONSTRUCTION ALLOWED UNTIL CONSTRUCTION PERMITS ARE RECEIVED FROM THE CITY OF COLUMBIA AND SIGNED.  
 6. NO USAGE ALLOWED UNTIL OPERATION PERMITS ARE RECEIVED FROM CITY OF COLUMBIA AND SIGNED.  
 7. NOTIFY THE CITY OF COLUMBIA 72 HOURS BEFORE COMMENCING CONSTRUCTION.  
 8. ALL DISTURBED AREAS TO BE SEEDED AS SOON AS PRACTICALLY POSSIBLE, BUT IN NO CASE SHALL THE SEEDING BE LONGER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.  
 9. ALL EXCAVATION FOR THIS PROJECT IS UNCLASSIFIED. WHEN EXCAVATING REMOVE ALL MATERIALS OF WHATEVER SUBSTANCE ENCOUNTERED.  
 10. THE CONTRACTOR SHALL CONDUCT A STUDY AND COMPARE THE CONSTRUCTION DOCUMENTS AND SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND RECORD THE LOCATION OF ALL UTILITIES AT THE SITE. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY THAT ALL LOCATIONS ARE CORRECT PRIOR TO COMMENCING CONSTRUCTION.  
 11. CONTRACTOR TO PROVIDE THE ENGINEER AS-BUILTS OF THE WATER SYSTEM AS-BUILT INFORMATION TO BE PROVIDED BY A REGISTERED LAND SURVEYOR IN DIGITAL FORMAT.  
 12. ALL WATERLINES SHALL HAVE 36" (MIN.) COVER.  
 13. CONTRACTOR TO USE FITTINGS AS NECESSARY. ALL FITTINGS SHALL BE INSTALLED WITH METALIC RESTRAINTS, OR EQUAL.  
 14. CONTRACTOR TO PROVIDE THROUST BLOCKS FOR ALL CONNECTIONS OR CHANGES IN DIRECTION WHETHER SHOWN OR OMITTED ON THE PLANS.  
 15. WHERE PVC PIPE IS USED, A CONTINUOUS #12 GAUGE BLUE INSULATED COPPER TRACER WIRE, APPROVED BY THE MANUFACTURER FOR DIRECT BURIAL, SHALL BE INSTALLED IN THE TRENCH A MINIMUM OF 6" ABOVE THE TOP OF THE PIPE AND SHALL BE CONNECTED TO THE WATER MAINS AT THE PROPERTY LINE AND AT THE INTERFERENCE OF DEBRIS OR THE VALVE OR METER.  
 16. ALL WATER LINES SHALL GENERALLY BE Laid 1.5' FROM THE PROPERTY LINE OR AS SHOWN.  
 17. CONTRACTOR TO PROVIDE A WATER SERVICE LINE AND METER BOX TO EACH LOT WHETHER SHOWN OR OMITTED ON THE PLANS UNLESS OTHERWISE NOTED.  
 18. ALL WATERLINE LENGTHS ARE APPROXIMATE.  
 19. ALL WATER MAINS SIZED ARE LABELED.  
 20. CLEAR AND GRUB AS NECESSARY FOR INSTALLATION OF THE WATERLINE.  
 22. ALL VALVES AND BLOWOFFS SHALL BE PLACED OUTSIDE OF PAVED AREAS.  
 23. ALL WATERLINES SHALL HAVE A 10' EASEMENT CENTERED ON THE PIPE UNLESS OTHERWISE NOTED.  
 24. ALL WATERLINES TO BE DUCTILE IRON PIPE (D.I.P.).

**NOTE:**  
 ALL WATERLINES TO BE DUCTILE IRON PIPE.  
**NOTE:**  
 NO VALVES, HYDRANTS, MANHOLES OR STRUCTURES ALLOWED IN ROADWAY.

**TAX MAP AND ZONING INFORMATION**  
 TMS #R00400-01-03  
 ZONED: RS-LD

**SITE INFORMATION**  
 TOTAL AREA = 37.4 ACRES  
 TOTAL LOTS = 69  
 MINIMUM LOT SIZE = 12,005 SQ. FT.  
 AVERAGE LOT SIZE = 14,167 SQ. FT. (EXCLUDING LOTS 70 AND 71)

**REFERENCE:** TOPOGRAPHIC AND METEOROLOGICAL BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY ASSOCIATED E & S, INC. POWER ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY FOR THE BOUNDARY, TOPOGRAPHIC OR METEOROLOGICAL INFORMATION ON THE SURVEY.

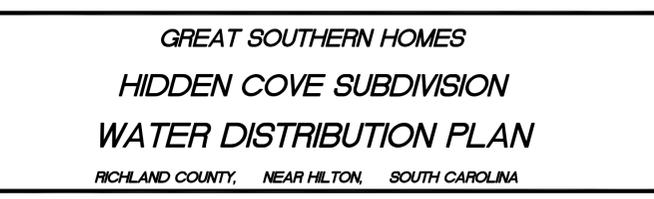
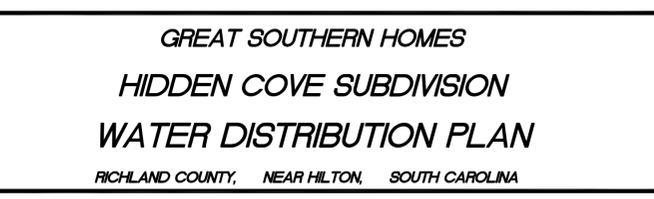
**FLOOD STATEMENT:** THE FLOOD INSURANCE RATE MAP PANEL #49029002D, K. DATED SEPTEMBER 29 2010, HAS BEEN REVIEWED AND THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

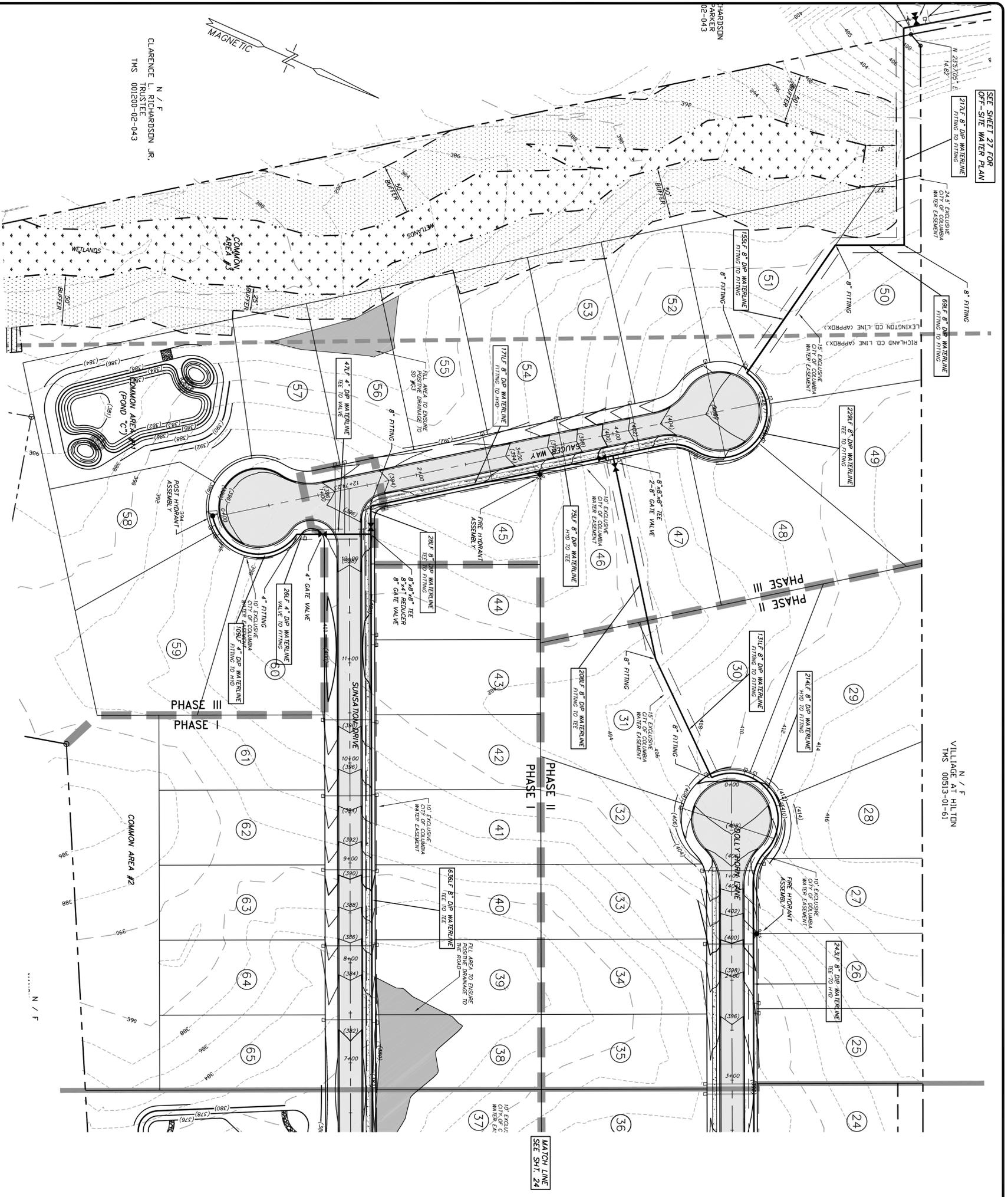
**GRAPHIC SCALE**  
 ( IN FEET )  
 1 inch = 50 ft.

**WATER PROVIDER:** CITY OF COLUMBIA  
 201 BOB 17  
 29217  
 PHONE: (803) 545-3400

**OWNER:** GREAT SOUTHERN HOMES  
 ATTN: SCOTT MORRISON  
 3229 SWEET BLVD, SUITE A  
 IRMO, SC 29063  
 PHONE: (803) 699-4734  
 scottmorrison@greatsouthernhomes.com

**ENGINEER:** POWER ENGINEERING COMPANY, INC.  
 3229 SWEET BLVD, SUITE A  
 IRMO, SC 29063  
 PHONE: (803) 216-8070  
 FAX: (803) 216-8070  
 EMAIL: dpower@powereng.net





SEE SHEET 27 FOR  
OFF-SITE WATER PLAN

N / F  
VILLAGE 41 HILTON  
TMS 00313-01-61

GRAPHIC SCALE  
( IN FEET )  
1 inch = 50 FT.

N / F  
CLARENCE L. RICHARDSON JR.  
TMS  
001200-02-043

**FLOOD STATEMENT:**  
THE FEDERAL INSURANCE RATE MAP, PANEL #4500720020 K, DATED SEPTEMBER 29, 2010, HAS BEEN REVIEWED AND THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

**REFERENCE:**  
TOPOGRAPHIC AND WETLAND BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY ASSOCIATED E & S, INC. POWER ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY FOR THE SURVEY BOUNDARY, TOPOGRAPHIC OR WETLANDS INFORMATION ON THE SURVEY.

**WATER PROVIDER:** CITY OF COLUMBIA  
P.O. BOX 147  
COLUMBIA, SC 29217  
PHONE: (803) 345-3400

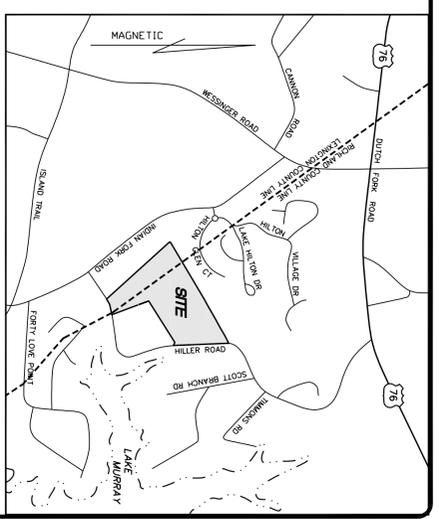
**OWNER:** GREAT SOUTHERN HOMES  
ATTN: SCOTT MORRISON  
90 N. ROYAL TOWER DRIVE  
COLUMBIA, SC 29169  
PHONE: (803) 699-4274  
scott.morrison@greathomes.com

**ENGINEER:** POWER ENGINEERING COMPANY, INC.  
3229 SUNSET BLVD., SUITE 41  
WEST COLUMBIA, S.C. 29169  
PHONE: (803) 216-8777  
EMAIL: info@powereng.net

**TAX MAP AND ZONING INFORMATION**

TMS #R00400-01-03  
ZONED: RS-LD

**SITE INFORMATION**  
TOTAL AREA = 37± ACRES  
TOTAL LOTS = 69  
MINIMUM LOT SIZE = 12,005 SQ. FT.  
AVERAGE LOT SIZE = 14,167 SQ. FT.  
(EXCLUDING LOTS 70 AND 71)



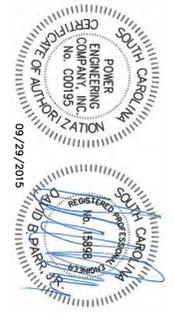
SEE NOTES ON SHEET 24

**LEGEND**

- PROPERTY LINE
- PROP. CURB AND GUTTER
- PROP. CENTER OF ROADWAY
- PROP. RIGHT-OF-WAY
- PROP. ASPHALT
- PHASE LINE
- PROP. WATER EASEMENT
- PROP. WATER GRADE
- PROP. WATER LINE
- PROP. HYDRANT
- PROP. GATE VALVE
- PROP. SERVICE
- EXIST. WATERLINE
- EXIST. FIRE HYDRANT
- EXIST. WATER VALVE

**NOTE:**  
NO VALVES, HYDRANTS, MANHOLES OR STRUCTURES ALLOWED IN ROADWAY.

**NOTE:**  
ALL WATERLINES TO BE DUCTILE IRON PIPE.

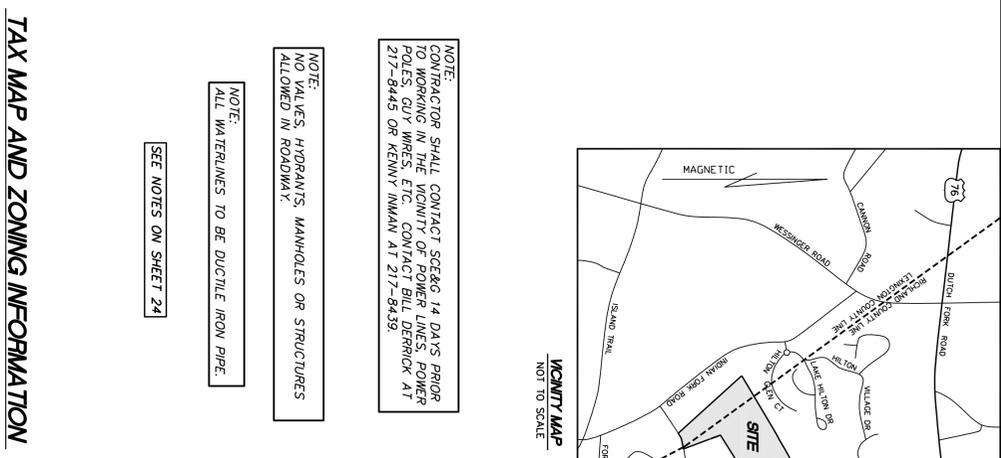
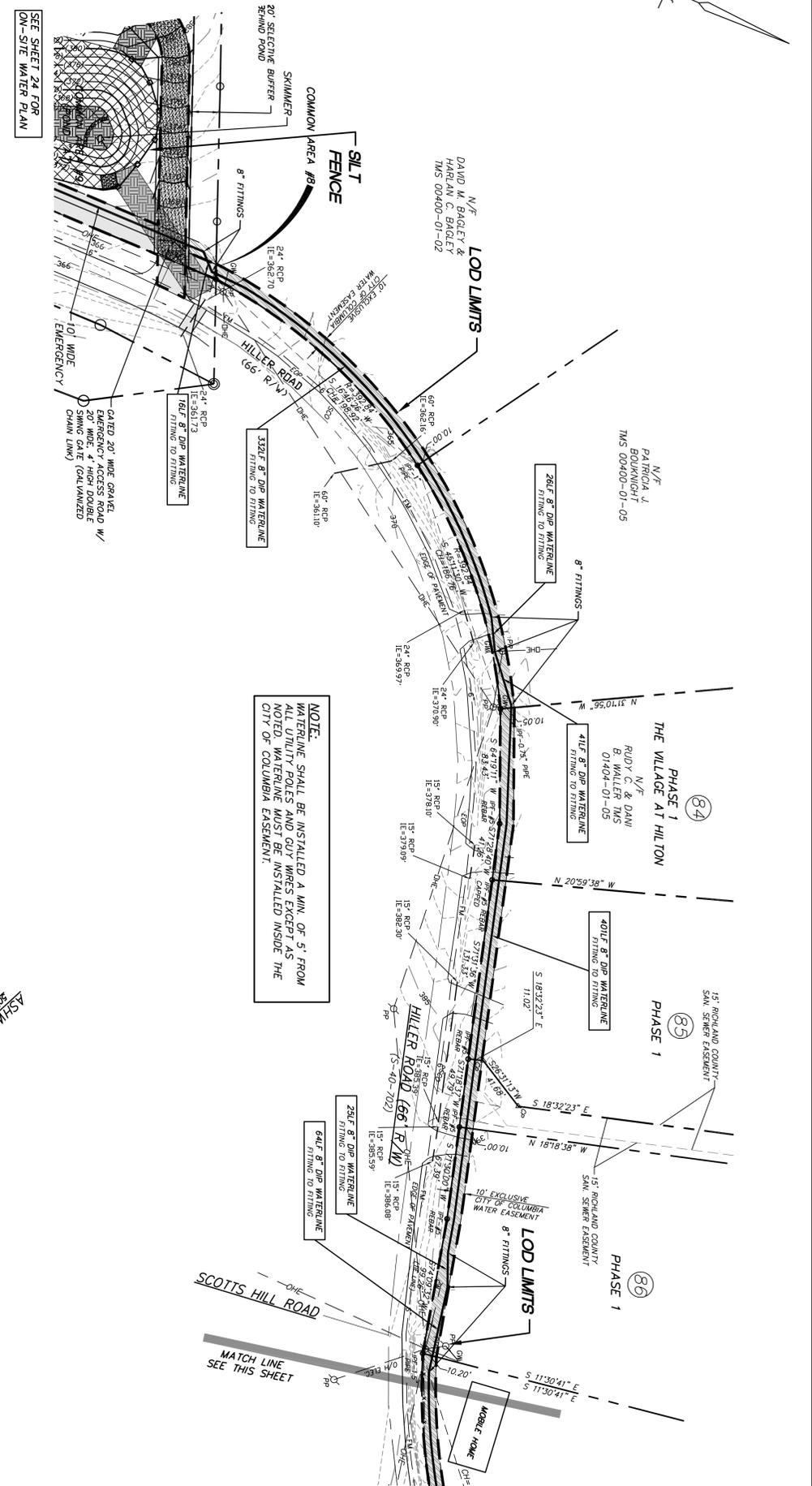
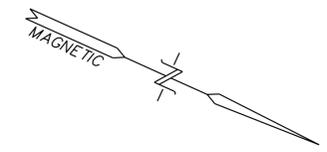


DRAWN	D.H.C.
CHECKED	D.B.P.
DATE	08-10-2015
SCALE	1" = 50'
JOB NO.	3653
SHEET	25
OF SHEETS	38

**GREAT SOUTHERN HOMES**  
**HIDDEN COVE SUBDIVISION**  
**WATER DISTRIBUTION PLAN**  
 RICHLAND COUNTY, NEAR HILTON, SOUTH CAROLINA

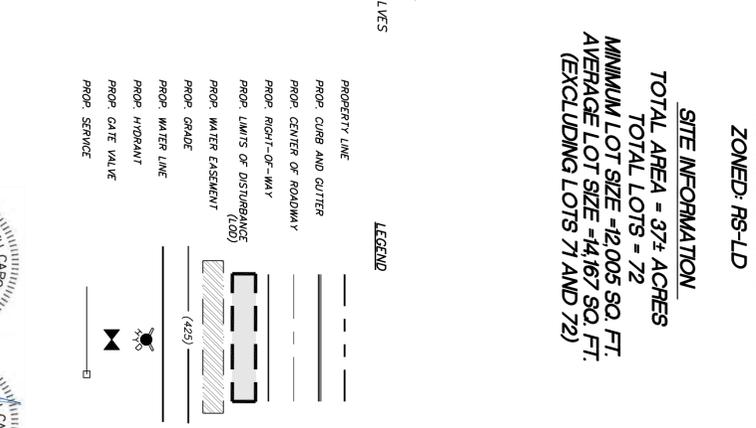
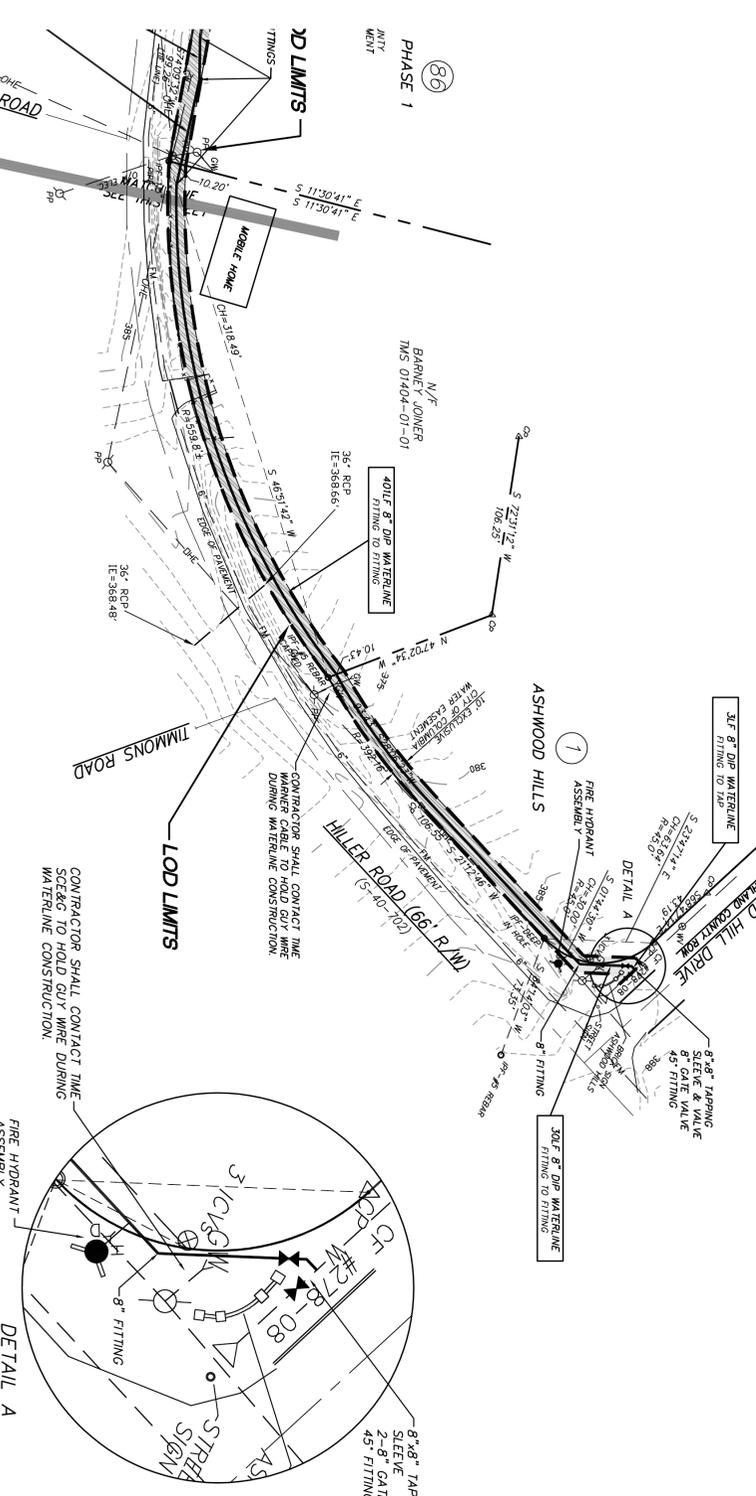
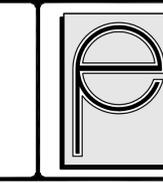
PREPARED BY  
**POWER ENGINEERING COMPANY, INC.**  
 ENGINEERS - PLANNERS - SURVEYORS  
 COLUMBIA, SC CHARLOTTE, NC

REVISIONS	BY
REVISIONS PER COUNTY	D.H.C.
06/16/15	
REVISIONS BETWEEN DAILY	D.H.C.
07/09/15	
REVISIONS BETWEEN	D.H.C.
08/10/15	



REVISIONS	BY
ADD DRIVEWAY CROSSINGS 05-20-15	D.H.C.
REVISIONS PER COUNTY 08/16/15	D.H.C.
ADDED TOTO, STORM DRAIN, POWERLINES & FENCES	D.H.C.
REVISED WATERLINE LOCATION TO AVOID UTILITY POLES & OTHER OBSTACLES 08/18/15	D.H.C.

PREPARED BY  
**POWER ENGINEERING COMPANY, INC.**  
 ENGINEERS - PLANNERS  
 COLUMBIA, SC



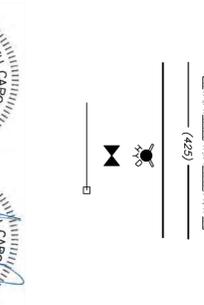
**TAX MAP AND ZONING INFORMATION**  
 TMS #R00400-01-03  
 ZONED: RS-LD

**SITE INFORMATION**  
 TOTAL AREA = 37± ACRES  
 TOTAL LOTS = 72  
 MINIMUM LOT SIZE = 12,005 SQ. FT.  
 AVERAGE LOT SIZE = 14,167 SQ. FT. (EXCLUDING LOTS 71 AND 72)

**LEGEND**

PROPERTY LINE	---
PROP. CURB AND GUTTER	---
PROP. CENTER OF ROADWAY	---
PROP. RIGHT-OF-WAY	---
PROP. LIMITS OF DISTURBANCE (LOD)	---
PROP. WATER EASEMENT	---
PROP. GRADE	---
PROP. WATER LINE	---
PROP. WATER LINE	---
PROP. GATE VALVE	---
PROP. SERVICE	---

**GREAT SOUTHERN HOMES**  
**HIDDEN COVE SUBDIVISION**  
**WATER DISTRIBUTION PLAN**  
 RICHLAND COUNTY, NEAR HILTON, SOUTH CAROLINA



**ENGINEER:** POWER ENGINEERING COMPANY, INC.  
 3229 SUNSET BLVD., SUITE A  
 WEST COLUMBIA, S.C. 29399  
 PHONE: (803) 216-8070  
 FAX: (803) 216-8070  
 EMAIL: dgb@powereng.net

**OWNER:** GREAT SOUTHERN HOMES  
 ATTN: SCOTT MORRISON  
 1400 SC 29065  
 PHONE: (803) 599-4734  
 scottmorrison@greatsouthernhomes.com

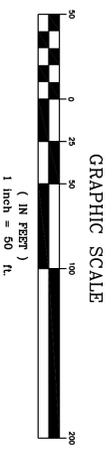
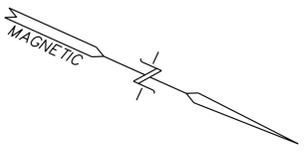
**WATER PROVIDER:** CITY OF COLUMBIA  
 P.O. BOX 147 29217  
 PHONE: (803) 545-3400

**REFERENCE:** TOPOGRAPHIC AND WETLAND BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY ASSOCIATED E. & S. INC. POWER ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY FOR THE BOUNDARY, TOPOGRAPHIC OR WETLAND INFORMATION ON THE SURVEY.

**FLOOD STATEMENT:** THE FEDERAL INSURANCE RATE MAP PANEL #50079G0020 K, DATED SEPTEMBER 29, 2010, HAS BEEN REVIEWED AND THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

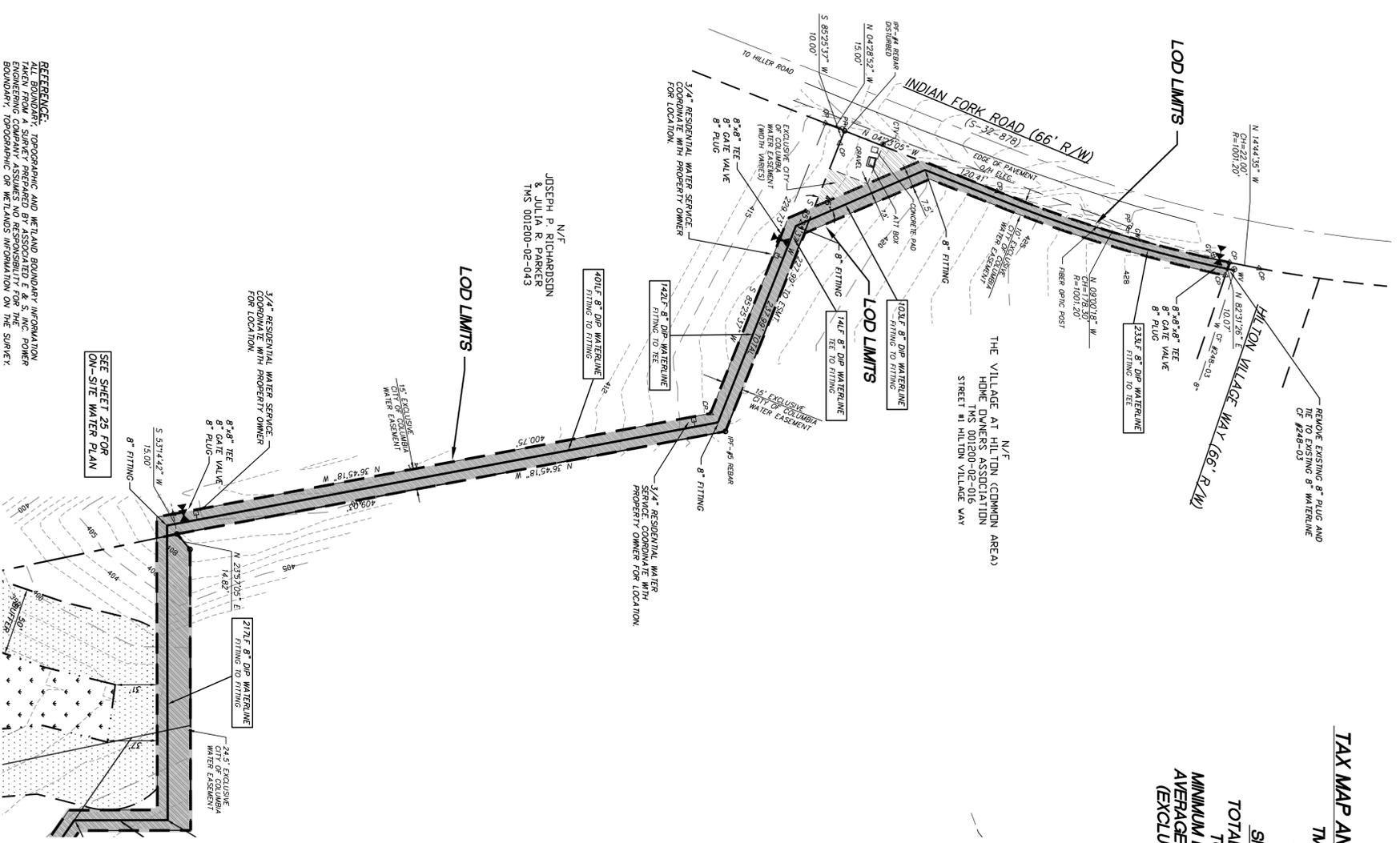
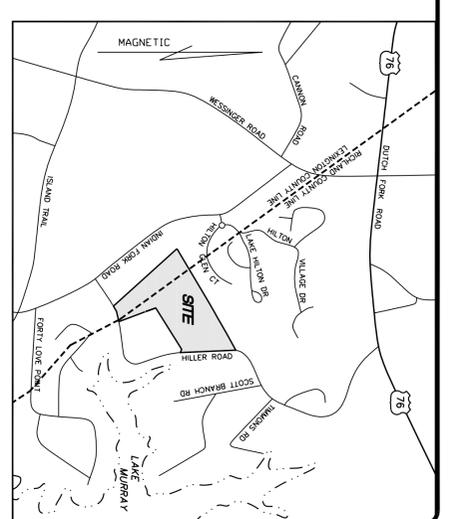
**GRAPHIC SCALE**  
 (IN FEET)  
 1 inch = 50 ft.

**DRAWN:** D.H.C.  
**CHECKED:** D.B.B.  
**DATE:** 08-10-2015  
**SCALE:** 1" = 50'  
**JOB NO.:** 3653  
**SHEET:** 26  
**OF 38 SHEETS**



**TAX MAP AND ZONING INFORMATION**  
**TMS #R0400-01-03**  
**ZONED: RS-LD**

**SITE INFORMATION**  
**TOTAL AREA - 37 1/2 ACRES**  
**TOTAL LOTS - 72**  
**MINIMUM LOT SIZE - 12,005 SQ. FT.**  
**AVERAGE LOT SIZE - 14,167 SQ. FT.**  
**(EXCLUDING LOTS 71 AND 72)**



**REFERENCE:**  
 ALL ELEVATIONS, TOPOGRAPHIC AND WETLAND BOUNDARY INFORMATION TAKEN FROM A SURVEY PREPARED BY ASSOCIATED E & S, INC. POWER ENGINEERING COMPANY ASSUMES NO RESPONSIBILITY FOR THE BOUNDARY, TOPOGRAPHIC OR WETLAND INFORMATION ON THE SURVEY.

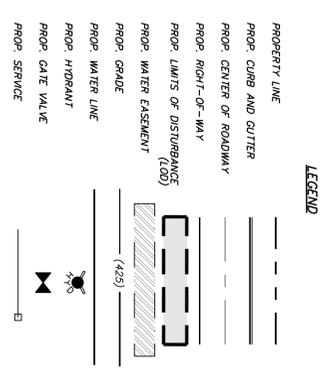
**FLOOD STATEMENT:**  
 THE FEDERAL INSURANCE RATE MAP PANEL #4900790000 K, DATED SEPTEMBER 29, 2010, HAS BEEN REVIEWED AND THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SEE SHEET 25 FOR ON-SITE WATER PLAN

N/E  
 JOSEPH P. RICHARDSON  
 & JULIA R. PARKER  
 TMS 001200-02-043

**NOTES:**

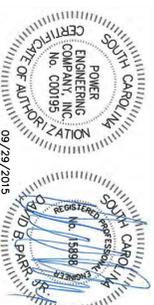
1. ALL UNDERGROUND LOCATIONS ARE APPROXIMATE PER DRAWINGS AND LOCATIONS SUPPLIED BY VARIOUS UTILITY COMPANIES.
2. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. 72 HOURS BEFORE COMMENCING CONSTRUCTION CONTACT UTILITIES AT 1-800-922-0980 FOR UNDERGROUND UTILITIES LOCATION.
3. ALL WATER TAPS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR TO COORDINATE ALL TAPPING OF EXISTING WATERLINES WITH THE CITY OF COLUMBIA.
4. THE MATERIALS AND CONSTRUCTION OF ALL WATER SYSTEM FACILITIES IN THIS PROJECT SHALL BE GOVERNED BY THE CITY OF COLUMBIA STANDARD SPECIFICATIONS.
5. NO CONSTRUCTION ALLOWED UNTIL CONSTRUCTION PERMITS ARE RECEIVED FROM THE CITY OF COLUMBIA AND SDCHEC.
6. NO USAGE ALLOWED UNTIL OPERATION PERMITS ARE RECEIVED FROM CITY OF COLUMBIA AND SDCHEC.
7. NOTIFY THE CITY OF COLUMBIA 72 HOURS BEFORE COMMENCING CONSTRUCTION.
8. ALL DISTURBED AREAS TO BE SEED AS SOON AS PRACTICALLY POSSIBLE, BUT IN NO CASE SHALL THE SEEDING TAKE LONGER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
9. ALL EXCAVATION FOR THIS PROJECT IS UNCLASSIFIED. WHEN EXCAVATING REMOVE ALL MATERIALS OF WASTE SUBSTANCE ENCOUNTERED.
10. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCIES OR OMISSIONS DISCOVERED ON THE PLANS OR AT ANY TIME DURING THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCING CONSTRUCTION.
11. CONTRACTOR TO PROVIDE THE ENGINEER AS-BUILTS OF THE WATER SYSTEM AS-BUILT INFORMATION TO BE PROVIDED BY A REGISTERED LAND SURVEYOR IN DIGITAL FORMAT.
12. ALL WATERLINES SHALL HAVE 36" (MIN.) COVER.
13. CONTRACTOR TO USE FITTINGS AS NECESSARY. ALL FITTINGS SHALL BE INSTALLED WITH METALLIC RESTRAINTS, OR EQUAL.
14. CONTRACTOR TO PROVIDE THURST BLOCKS FOR ALL CONNECTIONS OR CHANGES IN DIRECTION WHETHER SHOWN OR OMITTED ON THE PLANS.
15. WHERE PVC PIPE IS USED, A CONTINUOUS #12 GAUGE BLUE INSULATED COPPER TRACER WIRE, APPROVED BY THE WATER UTILITIES DEPARTMENT, SHALL BE INSTALLED WITHIN THE WATERLINE AT 18" TO 24" INTERVALS. THE TRACER WIRE SHALL TERMINATE AT EACH VALVE OR METER AND BE ARRANGED TO ALLOW CONNECTION OF EQUIPMENT FOR TRACING THE PIPE AND PREVENT INTERFERENCE OF OPERATING THE VALVE OR METER.
16. ALL WATER LINES SHALL GENERALLY BE LAID 3.5' FROM THE PROPERTY LINE OR AS SHOWN.
17. CONTRACTOR TO PROVIDE A WATER SERVICE LINE AND METER BOX TO EACH LOT WHETHER SHOWN OR OMITTED ON THE PLANS UNLESS OTHERWISE NOTED.
18. ALL WATERLINE LENGTHS ARE APPROXIMATE.
19. ALL WATER MAINS SIZE ARE LABELED.
20. CLEAR AND GRAD AS NECESSARY FOR INSTALLATION OF THE WATERLINE.
21. ALL VALVES AND BLOWOFFS SHALL BE PLACED OUTSIDE OF PAVED AREAS.
22. ALL WATERLINES SHALL HAVE A 10' EASEMENT CENTERED ON THE PIPE UNLESS OTHERWISE NOTED.
23. ALL WATERLINES SHALL HAVE A 10' EASEMENT CENTERED ON THE PIPE UNLESS OTHERWISE NOTED.
24. ALL WATERLINES TO BE DUCTILE IRON PIPE (DIP).



WATER PROVIDER: CITY OF COLUMBIA  
 P.O. BOX 147  
 COLUMBIA, SC 29217  
 PHONE: (803) 545-3400

OWNER: GREAT SOUTHERN HOMES  
 ATTN: SCOTT MORRISON  
 901 N. ROYAL TOWER DRIVE  
 COLUMBIA, SC 29207  
 PHONE: (803) 599-4734  
 scott.morrison@greatsouthernhomes.com

ENGINEER: POWER ENGINEERING COMPANY, INC.  
 3229 SUNSET BLVD., SUITE A  
 WEST COLUMBIA, S.C. 29169  
 PHONE: (803) 218-0777  
 FAX: (803) 218-0777  
 EMAIL: don@powereng.net



DRAWN	D.H.C.
CHECKED	D.B.P.
DATE	09-10-2015
SCALE	1" = 50'
JOB NO.	3653
SHEET	27
OF	38 SHEETS

**GREAT SOUTHERN HOMES**  
**HIDDEN COVE SUBDIVISION**  
**WATER DISTRIBUTION PLAN**  
 RICHLAND COUNTY, NEAR HILTON, SOUTH CAROLINA

**PREPARED BY**  
**POWER ENGINEERING COMPANY, INC.**  
 ENGINEERS - PLANNERS  
 COLUMBIA, SC

REVISIONS	BY
6-23-15	D.H.C.
8-10-15	D.B.P.
ADDED 1090 STORM DRAIN POWERLINES & FENCES	D.H.C.
07/29/15	D.H.C.
ADDED 1090 STORM DRAIN LOT 50 AND BUTTER	D.H.C.
09-18-15	D.H.C.
5" DUCTILE IRON WATER MAINS 10-19-15	D.H.C.



3653

November 12, 2014

Power Engineering, Inc.  
Attn: David Parr  
138 Westpark Blvd  
Columbia, SC, 29210

**RE: Hiller Road Subdivision**  
**RCF # SD14-079**  
**TMS # 00400-01-03**  
**73 lots/ 37 acres**

Dear Mr. Parr:

Please be advised the Sketch Plan entitled "Hiller Road Subdivision", dated 10/1/2014 with revisions through 11/3/2014, is **approved**.

**The following items must be addressed on the preliminary plans:**

*Andrea Bolling, Floodplain Coordinator (803-576-2150):*

1. Approved for concept. Agreement with the wetland delineations shown on the plans will need to be provided from the Army Corps of Engineers with the preliminary plan submittal.

The following is noted for informational purposes:

1. Upon written notice of sketch plan approval for a phase, the applicant shall have a two (2) year vested right to proceed with the development of the approved subdivision phase under the regulations that are in place at the time of subdivision approval. Failure to submit an application for preliminary plan approval within this two (2) year period shall render the sketch plan approval void. **Approval of the above-referenced sketch plan will expire on November 12, 2016.** However, the applicant may apply to the planning department for a one (1) year extension of this time period no later than 30 days and no earlier than 120 days prior to the expiration of the sketch plan approval.
2. Preliminary plans may now be submitted as project type Major Subdivision Preliminary via eTrakit at <http://etrakit.rcgov.us/etrakit3/>

Sincerely,

Carroll Williamson  
Land Development Administrator



September 03, 2015

POWER ENGINEERING COMPANY  
138 Westpark Blvd  
Columbia, SC 29210

**RE: Hidden Oaks Subdivision**  
**RCF # SD15-030**  
**TMS # R00400-01-03**

Dear POWER ENGINEERING COMPANY:

The above referenced project entitled "**Hidden Oaks Subdivision**", dated **5/10/2015 with revisions through 8/18/2015**, has been reviewed and APPROVED in accordance with Section 26 of the Richland County Land Development Code.

Sincerely,

Staff  
Richland County Development Services

Richland County Internet Mapping 7.2

Parcel Information:

<http://www.richlandmaps.com/apps/gmap/?base=satellite&taxid=R01404-01>  
 Parcel Number: R01404-01-03  
 Situs Address: S/S HILLER RD  
 Primary Zoning: PDD  
 Secondary Zoning:  
 Tax District: 6UD  
 NBHD Code: 118.19  
 Assessed Value: 600  
 Building Value: 0  
 Land Value: 600  
 Acreage: 0.260  
 Owner Name: COUNTY OF RICHLAND  
 Owner Address: 2020 HAMPTON STREET  
 Owner Address:  
 Owner City: COLUMBIA  
 Owner State: SC  
 Owner ZIP: 29201  
 Bedrooms: 0  
 Bathrooms: 0  
 Year Built:  
 Heated Sq Feet: 0 ft<sup>2</sup>  
 Last Sale Date: October 2, 2002  
 Last Sale Price: \$0  
 Legal Description: PUMP STATION  
 Legal Description: 50X41.7X214X37.3X70.4X--X40.2X  
 Legal Description: 32.4X47.1X195.8  
 Legal Description: #SU THE VILLAGE @ HILTON PH 1

Pointer: 34.132758, -81.293492

7:54 AM  
10/12/2015

# Wastewater Construction Permit Bureau of Water



PROJECT NAME: <b>HIDDEN COVE SUBDIVISION</b>	COUNTY: <b>RICHLAND</b>
LOCATION: Near the intersection of Hiller Grove Road and Indian Fork Road	

**PERMISSION IS HEREBY GRANTED TO:** GS-JACOBS CREEK LLC  
90 N ROYAL TOWER DR  
IRMO SC 29063

for the construction of a sanitary sewer system in accordance with the construction plans, specifications, design calculations and the Construction Permit Application signed by David Parr, Registered Professional Engineer, S.C. Registration Number: 15898.

**PROJECT DESCRIPTION:** Approximately 3647 LF of 8" PVC gravity sewer, 21 manholes, one duplex pump station and 27 LF of 4" force main to serve 70 residential lots.

**TREATMENT FACILITY:** The wastewater will be discharged to the RICHLAND COUNTY UTILITIES & SERVICES (NPDES permit SC0046621) at a design flow rate of 21000 gallons per day (GPD).

**STANDARD CONDITION:**

**NOTE:** In accepting this permit, the owner agrees to the admission of properly authorized persons at all reasonable hours for the purpose of sampling and inspection. This is a permit for construction only and does not constitute DHEC approval, temporary or otherwise, to place the system in operation. An Approval to Place in Operation is required and can be obtained following the completion of construction by contacting the COLUMBIA EQC OFFICE at 803-896-0620. Additional permits may be required prior to construction (e.g., Stormwater).

**SPECIAL CONDITIONS:**

1. This construction permit is being issued based on the technical review being provided by the RICHLAND COUNTY PUBLIC WORKS under the Delegated Review Program. An approval to place in operation will not be granted if there are certain deficiencies that are noted regarding the requirements of R.61-67.

<b>PERMIT NUMBER:</b>	<b>39147-WW</b>
<b>ISSUANCE DATE:</b>	<b>October 14, 2015</b>
<b>EXPIRATION DATES:</b>	Construction must be completed and the Approval to Place in Operation granted prior to <b>October 14, 2018</b> or this permit will expire.

*Ann R. Clark*  
Ann R. Clark, Director  
Stormwater, Construction, and Agriculture  
Permitting Division

GBA (DRP)

## Richland County Council Request of Action

**Subject:**

Comprehensive Youth Program

**Notes:**

Staff and the Clerk's Office are working in conjunction with the Sheriff's Department, Magistrate's Office, Solicitor's Office and the Alvin S. Glenn Detention Center to develop a plan of action regarding a comprehensive youth program. Once completed, Staff and the Clerk's Office will report this information back to the Committee for their review and action.

## Richland County Council Request of Action

### **Subject:**

Motions Related to the Development of a Diversity Statement and the Feasibility of Conducting a Workplace Diversity Study

### **Notes:**

At the February 9, 2016 Council meeting, the following motions related to the development of a diversity statement and the feasibility of conducting a workplace diversity study were brought forth:

“Based on the recommendations of the diversity consultant, move that Council request staff to explore the feasibility of conducting a Workplace Diversity Study to include not simply a statistical analysis of the County workforce but also those factors brought up by Councilman Livingston regarding inclusion and accommodation. Upon receipt of the staff report, Council would then address if and when to move forward with this study and determine a means to pay for it. [PEARCE, DIXON and MANNING]”

“I move that Council develop a Diversity Statement for Richland County [MANNING]”

“Create a Diversity Statement for Richland County [MALINOWSKI]”

"Richland County is an Equal Opportunity Nondiscrimination Employer". I move that Richland County adapt these words as its Diversity Statement [JACKSON]”

Staff is working to move forward with the aforementioned motions. Staff will bring this item to the Committee for their consideration at a future Committee meeting

## Richland County Council Request of Action

**Subject:**

Motion to Have a Subcommittee Examine the County's EMS Services

**Notes:**

At the December 15, 2015 Special Called Council meeting, Mr. Rose brought forth the following motion:

“Move to have a subcommittee examine the County's EMS Services Department with input from EMS workers”

Staff is working to identify possible options for moving forward with Mr. Rose's motion. Staff will bring this item to the Committee for their consideration at a future Committee meeting.